



Development Application
 Town of Stowe Zoning Department
 PO Box 730
 Stowe VT 05672
 Voice (802) 253-6141

Project #
 (To be assigned)

Date Received:

This form serves as an application for all requested zoning and subdivision reviews.

Owner Information

Property Owner: **605 Maple LLC**
 Mailing Street Address City, State and Zip: **P.O. Box 728, Stowe, VT 05672**
 Phone Number: Day: **(802) 253-1821** Other phone or email: **gmmvt@outlook.com**

Applicant/Contact Information (Relationship to Owner)
 Owner (If so, skip to site information) Lessee Contractor
 Architect/Designer Agent for Owner Under purchase contract
 All information and correspondence is sent to applicant/contact.

Contact Name: _____
 Company (if any): _____
 Mailing Street Address City, State and Zip: _____
 Phone Number: _____ Other/Email: _____

Site Information

Physical Address: **605 & 635 Maple Street, Stowe, VT 05672**
 Business (if any): **n/a**
 Tax Map ID: **7A-098.000 & 7A-099.000**

Please briefly describe the project or request below:

Demolition of existing garage building and construction of new 9-unit residential dwelling with associated driveway, parking, grading, and utilities, including connection to municipal water and sewer systems.

For All Approvals:

The below signed hereby agrees that the proposed work shall be done in accordance with the application, plan, specifications, and other associated documentation and that the work shall conform to all applicable town ordinances and regulations. Signing as an "Agent for Owner" indicates that the person signing has the permission of the owner to act on the owner's behalf. Additional permits may be needed from the State of Vermont and/or the Town of Stowe for development.

Indicate if:
 Property Owner OR
 Agent for Owner

Signature: 

Date: **12/11/19**

Additional application information is required on reverse side: ➔

Note: Local Zoning approval does not cover any required state approvals. Wastewater System and Potable Water Supply permits may be required for construction or modifications that change the wastewater flow. Other State permits may be required for certain uses. The applicant is advised to contact a DEC Permit Specialist to discuss the State permit requirements at 802-505-5367.

Construction Information

A site plan showing the proposed development is required if construction is involved. The applicant is responsible for determining property lines and setbacks.

Please answer the questions below for all construction projects:

Will there be a new curb cut (driveway opening)?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will over 1/2 acre of land be graded or disturbed?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will the development create an additional 1/2 acre of impervious surface?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be other changes resulting in increased sewer or water flows?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will there be a new connection to the Stowe sewage system?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will there be a new connection to the Stowe water system?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Is any portion of the building rented out?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Is an Act 250 permit or amendment required?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

Maximum Bldg. Height: **28 feet** * Building Height is defined as the vertical distance measured from the average elevation of the proposed finished grade at the front or rear of the building to the highest point of the roof for flat and mansard roofs, and to the average height between eaves and ridge for other types of roofs. On sloping sites the height will be measured on the uphill side.

Please answer the questions below for all projects involving residential dwellings:

Existing Rooms:	# Bathrooms: n/a	# Bedrooms: n/a	# Kitchens: n/a
New Rooms:	# Bathrooms: 9	# Bedrooms: 13	# Kitchens: 9

Please complete the fee calculation below for all construction projects:

Indicate new/additional gross floor area	Cost/Sq. Ft.	Fee Required
Heated Enclosed Space: 8,160 sq ft	\$.20/sq. ft.	\$ n/a
Unheated Enclosed Space: 0 sq ft	\$.13/sq. ft.	\$ n/a
Unheated Unenclosed Space: 392 sq ft (such as decks and open porches)	\$.07/sq. ft.	\$ n/a
Structures other than buildings (such as ponds and tennis courts) (administrative approval)	\$50/structure	\$ n/a
Structures other than buildings (such as ponds and tennis courts) (Conditional use approval required)	\$100/structure	\$ n/a
Additional Recording Fee:	\$15 for permitted uses \$30 for conditional uses	\$ n/a
	Total Fee**:	\$ 250

** Minimum application fee for all construction (includes recording fee):

Permitted Uses: \$60.00 **Conditional Uses: \$250.00**

Fee Schedule for Projects Not Involving Construction
(all fees below include recording fee)

For permitted uses not involving construction: \$60
For conditional uses not involving construction, appeals and variances: \$250
 Administrative amendment of conditional uses: \$70
 New signs: \$70
 Certificate of Occupancy: \$55 (additional inspections if need after first: \$40)
 Subdivisions:
 Preliminary Layout Application (Base Fee): \$250
 Preliminary Layout (Fee per lot if equal to and/or more than 5 lots): \$250/lot or unit
 Final Plat Application (Base Fee): \$250
 Final Plat Application (additional fee per lot if preliminary layout was not required): \$100/lot or unit
 Minor Subdivision - Lot Line Adjustment: \$105 (includes recording fee for one map page)
 Final Plat Recording Fee (per map page): \$25

Payments should be made to the Town of Stowe. Payment can be made by cash, check, or with a credit card (Mastercard, Visa or Discover) or online. Go to www.townofstowevt.org/townclerk/ and click the link for online payments. Please note there is a 3% convenience fee for credit card payments.



Civil Engineers • Land Use Planners

December 11th, 2019

Sarah McShane
Zoning Director and Administrator
Town of Stowe, Akeley Memorial Building
67 Main Street, Stowe, VT 05672

**Subject: Proposed 9-Unit Residential Development
605 & 635 Maple Street, Stowe, Vermont**

Project #18045.1

Dear Sarah,

Please find attached an application and supporting documents for the proposed 9-unit multi-family residential development at 605 & 635 Maple Street, in the Town of Stowe Historic Overlay District ("SHOD"), for review by the Town of Stowe Historic Preservation Commission ("SHPC"). It is the applicant's desire to present the project to the SHPC at their next meeting on December 18th, 2019. Upon approval by the SHOD, the applicant will schedule a hearing date with the DRB.

The landowner and applicant, 605 Maple LLC, proposes to demolish the existing detached garage building located at 621 Maple Street and construct new 9-unit multi-family residential building in the approximate same location. The building is two stories along Maple Street with a bottom walk-out story. The main access to the building will be located on the bottom floor level via the parking area. A covered front door entrance is proposed out to Maple Street.

The proposed residential building is setback from the roadway with landscaping in between. It is sited to conform to the street line and create a front entrance that is oriented to the roadway. The proposed building has a principal façade that is compatible with the precedence of nearby historic structures in terms of scale, massing, and alignments and is of a style similar to historic buildings found in Stowe. The architectural type of this proposed building is appropriate to its scale and intended use and does not borrow from multiple historic styles nor combine those into one design. The proposed building roof includes two main gables bisected by a lower roofline with a front dormer and porch. The roofs will be asphalt shingle at 12:12. The windows are two over two double-hung Elevate model by Marvin.

The properties include a total of ±6.30 acres and are located in the Village Residential, VR-20 and VR-40, zoning districts which include Multi-Family as a Conditional Use and allows for up to 25 units in density. A portion of the site to the west along the Little River is within the Town of Stowe Flood Hazard Overlay District ("FHOD"); these areas do not contain any proposed development.

At 605 Maple Street, there is an existing single-family dwelling with a one-bedroom apartment and a detached garage on the eastern portion of the property abutting Maple Street (Route 100). The existing dwelling is to remain. At 635 Maple Street, there is an existing 3-unit multi-family residential dwelling. Both dwellings are serviced by municipal water and sewer. The site slopes from the road down to the west, to an existing pond and low-lying wetland area. Please see the attached plan sheet C-1 "Existing Conditions" for additional details.

The existing garage at 605 Maple Street will be demolished and the proposed new 9-unit building will be constructed in the same approximate location. In accordance with Section 10.8 Demolition and Partial Demolition of Structures, which states that within the overlay district, the SHPC first shall review each application for the demolition of a building and make a written recommendation to the DRB. The DRB then will conduct a public hearing to review the application and may approve the demolition if they find that (a) The SHPC has determined that the structure does not have historical or architectural significance or does not make a positive contribution to the district's streetscape. It is the applicant's opinion that the garage does not have historical or architectural significance and does not make a positive contribution to the district's streetscape. We hope that the SHPC agrees with this opinion and approves demolition of the existing garage.

The existing driveway/parking for the dwelling at 605 Maple Street will be relocated slightly to the south and provide access to a parking area in the rear of the buildings. There are 20 parking spaces provided in the parking area. There are 2 parking spaces provided in the garage of the dwelling at 605 Maple Street and 2 spaces in the new associated driveway. There are 5 parking spaces existing at 635 Maple Street. This results in a total of 29 parking spaces. There will be a total of 14 units (2 units existing at 605 Maple Street, 3 units existing at 635 Maple Street, and 9 units proposed in the new building at 621 Maple Street), resulting in 28 required spaces. Please see attached plan sheet C-2 "Proposed Site Plan" for additional information.

The new building will be connected to municipal water and sewer. A new 4" water line is proposed to connect the existing 8" water main just to the north of the property. This new water line will also provide service to a sprinkler system in the building and a fire department connection (FDC) on the exterior of the building. A new 6" sewer service line will be constructed and connect to the existing sewer main located in the rear of the property. A new utility pole is proposed at the south end of the property near the new driveway for connection of overhead services from the pole across Maple Street. From the new pole, underground utilities will run to service the existing building at 605 Maple Street and the new 9-unit building at 621 Maple Street. Please see attached plan sheet C-3 "Proposed Utilities & Landscaping Plan" for additional information.

The property slopes from Maple Street down to the west. The new driveway will be curbed on the south side to contain stormwater runoff from entering the Grayson property to the south. At the end of the curve of the driveway, catch basins will collect stormwater runoff and direct it via pipes to an outlet at the base of the driveway fill with a rip-rap spreader. For the majority of the site, stormwater runoff will discharge onto the western grassed areas and sheet flow to down towards the low-lying areas; there will be nearly 150' of vegetated buffer for stormwater infiltration and treatment uphill of the existing pond. Along the north side of the property, a rip-rap lined swale is proposed to ensure that stormwater does not discharge onto the neighboring property (Hillcrest).

There is an existing wetland located in the low-lying area in the western portion of the property. We have met with Shannon Morrison, State Wetlands Specialist, and confirmed that the wetland limit is the edge of the existing pond. It has a 50-foot buffer and there is no proposed development within the buffer area.

There is an existing overhead transmission line running through the property which is owned by Morrisville Water & Light. There are no changes proposed to the overhead power line.

Various landscaping is proposed on the site, including arborvitae bushes along the south side of the proposed driveway abutting the Grayson property and at the end of the parking area to the north abutting the Hillcrest property. Shade trees are proposed in the rear of the lot near the parking area as well as along the Maple Street road frontage. Existing trees and bushes around the existing buildings at 605 and 635 Maple Street are to remain. New bushes are proposed along the new driveway for the dwelling at 605 Maple Street. Additional ornamental landscaping will be provided at the rear of the new building facing the parking area. Please see the landscaping plan for additional details.

There are various existing non-conformities of the parcels and buildings at 605 and 635 Maple Street. The merger of the lots results in a decrease in non-conformity, including the lot area, the lot width, and the density of the combined parcel will now be conforming. There will also be improvements to driveway and parking along the street frontage. The existing driveway/parking for 605 Maple Street will be revised to new entrance/exit with a side driveway/parking area so that parking for 605 Maple Street will not be accessed directly from the roadway. The existing driveway/parking located along the road for the existing garage will also be removed.

The proposed building includes a front covered porch area which will be located within the current limits of the existing garage setback. The main portion of the proposed building will be located outside the 20' required building setback from the front property line.

Regarding the Character of the Area, the purpose of the VR-20 zoning district is *"To provide for compact residential development in suitable areas which are served by municipal water supply and municipal sanitary sewer system."* This statement precisely describes the proposed project. The areas of the VR-20 district along Maple Street include many buildings that are comparable in size and scale and provide multi-family housing.

If you have any questions, please don't hesitate to contact me at tyler@mumleyinc.com or 802-881-6314.

Sincerely,

Tyler Mumley, P.E.



Mumley Engineering, Inc.



EXISTING CONDITIONS

1962 Aerial Image (North = right):



2018 Aerial Image (North = upper right):



Stowe SHPC Project #6168
Proposed 9-Unit Multi-Family Residential Development
621 Maple Street, Stowe, Vermont

3
Project #18041.1
Dec 18, 2019

Streetview #1 (West):



Stowe SHPC Project #6168
Proposed 9-Unit Multi-Family Residential Development
621 Maple Street, Stowe, Vermont

4
Project #18041.1
Dec 18, 2019

Streetview #1 (North):



Stowe SHPC Project #6168
Proposed 9-Unit Multi-Family Residential Development
621 Maple Street, Stowe, Vermont

5
Project #18041.1
Dec 18, 2019

Streetview #1 (South):





Hamor Architecture
458 Mountain Road
Stowe Vermont 05672
802/497/4224
HamorArchitecture.com

Project / Client

605 Maple LLC
Stowe, VT

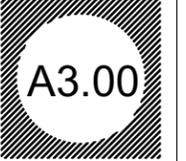
Title

RENDERING

Date 12/27/2019

Revision Log

Sheet Number



Ownership and use of documents:
Drawings and specifications are instruments of professional service and shall remain the property of the designer.
These documents are not to be used in whole or part, for any other projects or purposes, or by any other parties, than those properly authorized by contract without specific written authorization of Brian Hamor.



Hamor Architecture
 458 Mountain Road
 Stowe Vermont 05672
 802/497/4224
 HamorArchitecture.com

Project / Client
605 Maple LLC
 Stowe, VT

Title
RENDERING

Date 12/27/2019

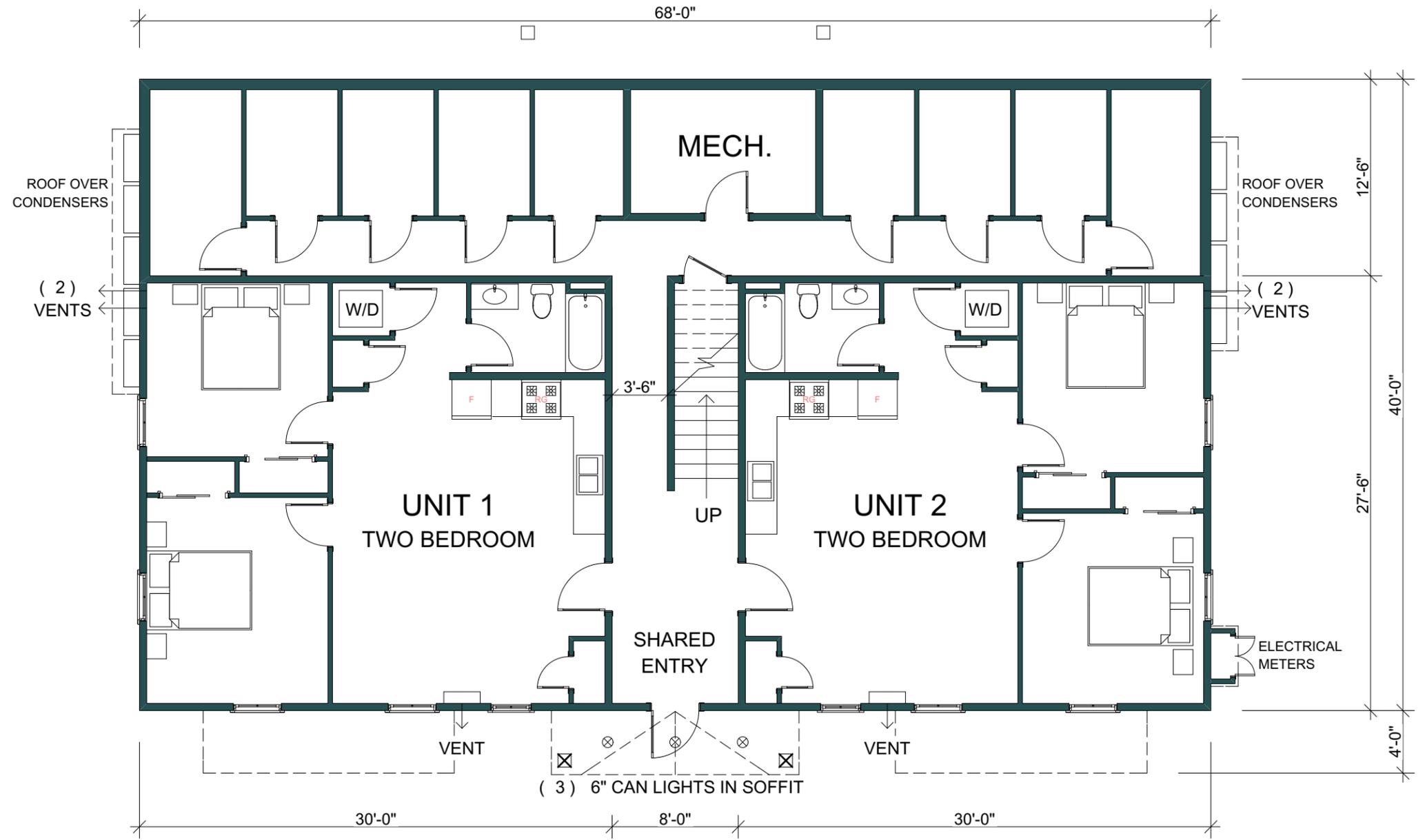
Revision Log

Sheet Number


Ownership and use of documents:
 Drawings and specifications are instruments of professional service and shall remain the property of the designer.
 These documents are not to be used in whole or part, for any other projects or purposes, or by any other parties, than those properly authorized by contract without specific written authorization of Brian Hamor.



Hamor Architecture
 458 Mountain Road
 Stowe Vermont 05672
 802/497/4224
 HamorArchitecture.com



Project / Client

605 Maple LLC
 Stowe, VT

Title

**FLOOR
 PLANS**

Date 12/27/2019

Revision Log

Rev	Description

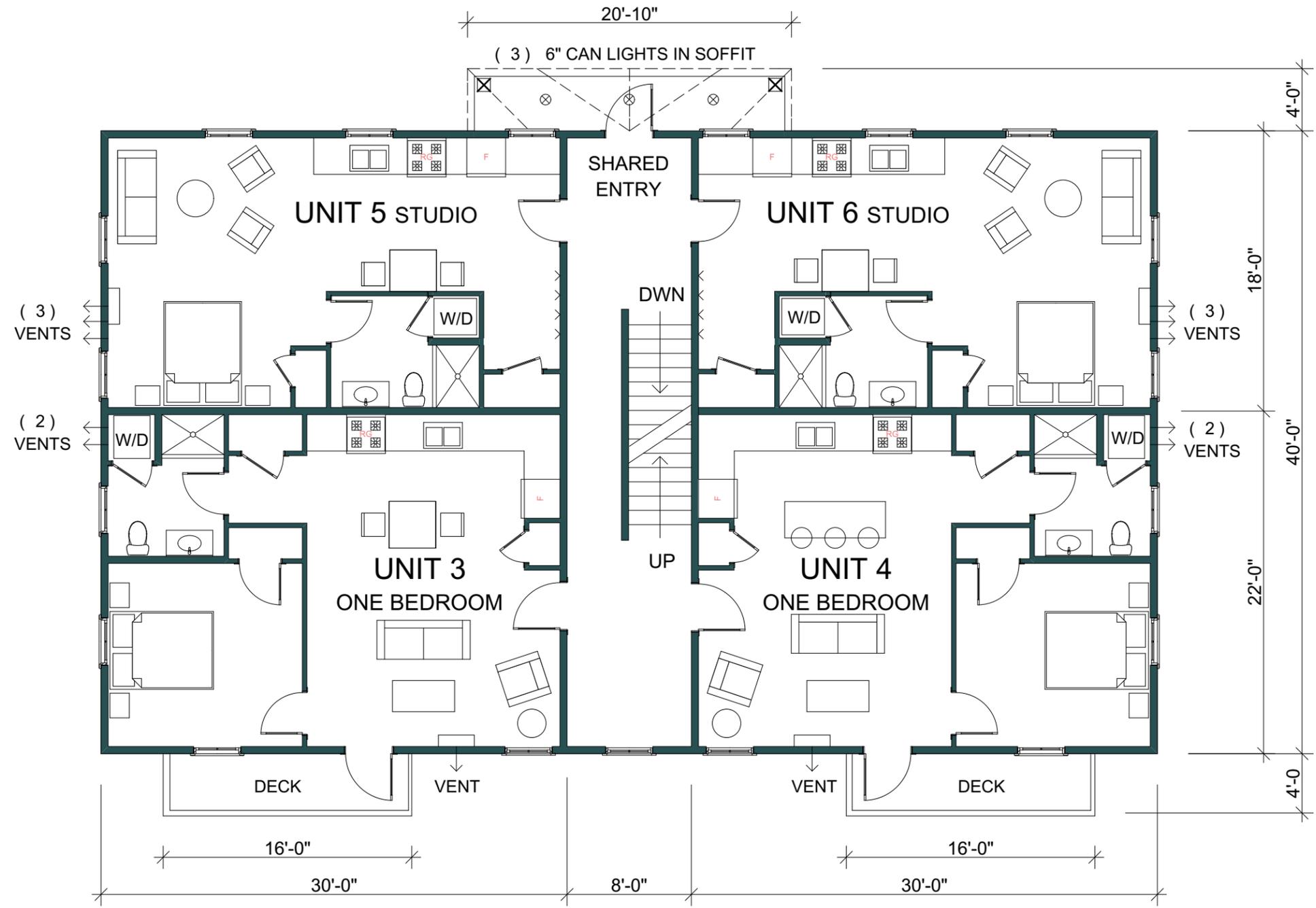
Sheet Number



Ownership and use of documents:
 Drawings and specifications are instruments of professional service and shall remain the property of the designer.
 These documents are not to be used in whole or part, for any other projects or purposes, or by any other parties, than those properly authorized by contract without specific written authorization of Brian Hamor.



Hamor Architecture
 458 Mountain Road
 Stowe Vermont 05672
 802/497/4224
 HamorArchitecture.com



MAIN LEVEL FLOOR PLAN

Project / Client
605 Maple LLC
 Stowe, VT

Title
FLOOR PLANS

Date 12/27/2019

Revision Log

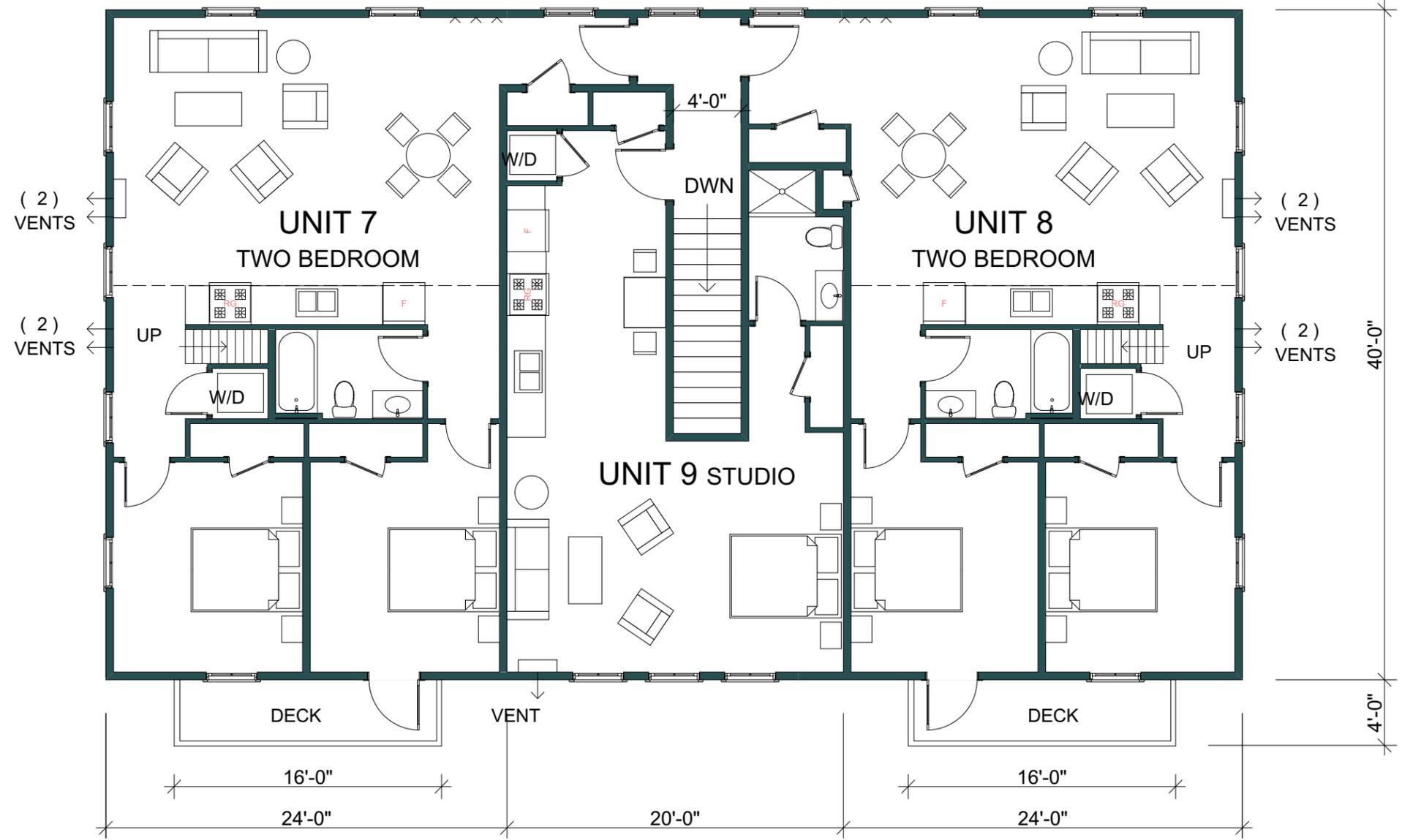
NO.	DATE	DESCRIPTION

Sheet Number
A1.01

Ownership and use of documents:
 Drawings and specifications are instruments of professional service and shall remain the property of the designer.
 These documents are not to be used in whole or part, for any other projects or purposes, or by any other parties, than those properly authorized by contract without specific written authorization of Brian Hamor.



Hamor Architecture
 458 Mountain Road
 Stowe Vermont 05672
 802/497/4224
 HamorArchitecture.com



Project / Client

605 Maple LLC
 Stowe, VT

Title

**FLOOR
 PLANS**

Date 12/27/2019

Revision Log

NO.	DATE	DESCRIPTION

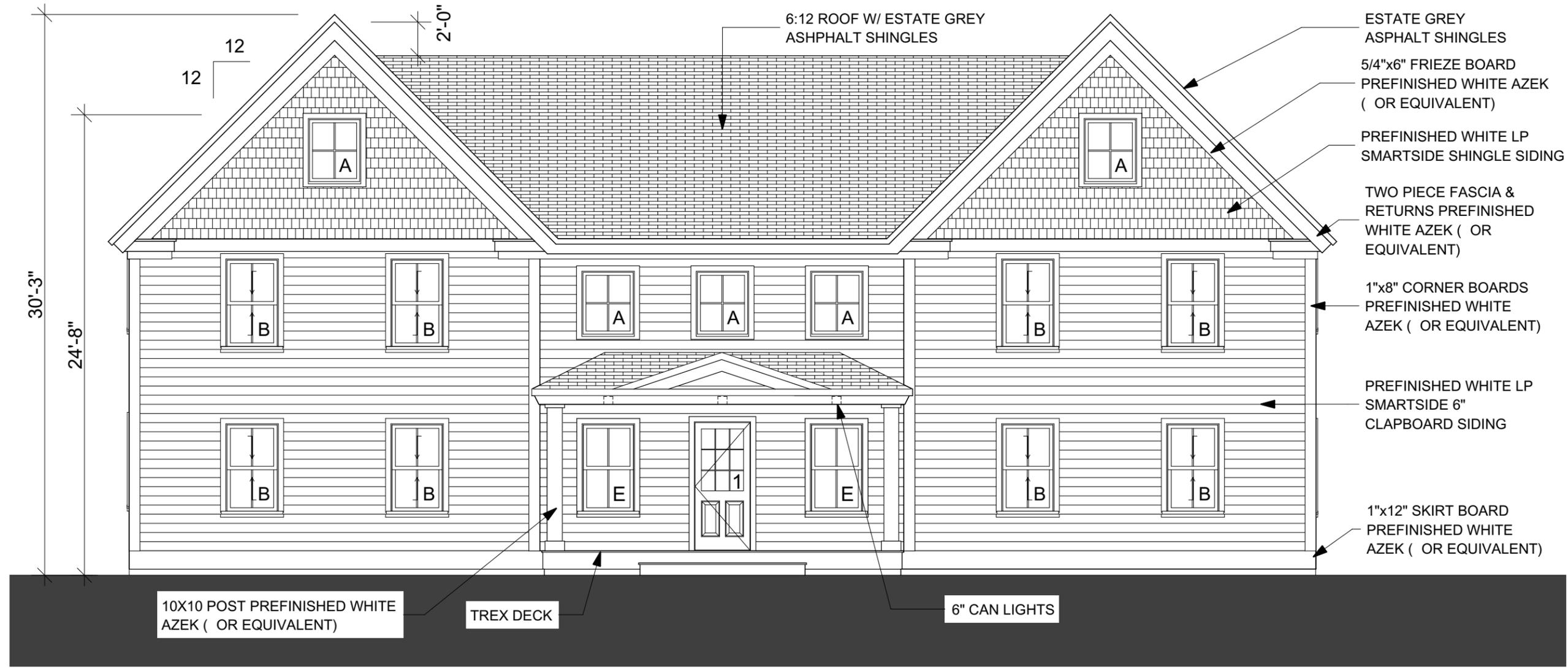
Sheet Number



Ownership and use of documents:
 Drawings and specifications are instruments of professional service and shall remain the property of the designer.
 These documents are not to be used in whole or part, for any other projects or purposes, or by any other parties, than those properly authorized by contract without specific written authorization of Brian Hamor.



Hamor Architecture
 458 Mountain Road
 Stowe Vermont 05672
 802/497/4224
 HamorArchitecture.com



Project / Client

605 Maple LLC
 Stowe, VT

Title

EXTERIOR ELEVATIONS

Date 12/27/2019

Revision Log

NO.	DESCRIPTION

Sheet Number



Ownership and use of documents:
 Drawings and specifications are instruments of professional service and shall remain the property of the designer.
 These documents are not to be used in whole or part, for any other projects or purposes, or by any other parties, than those properly authorized by contract without specific written authorization of Brian Hamor.



Hamor Architecture
 458 Mountain Road
 Stowe Vermont 05672
 802/497/4224
 HamorArchitecture.com

Project / Client

605 Maple LLC
 Stowe, VT

Title

EXTERIOR ELEVATIONS

Date 12/27/2019

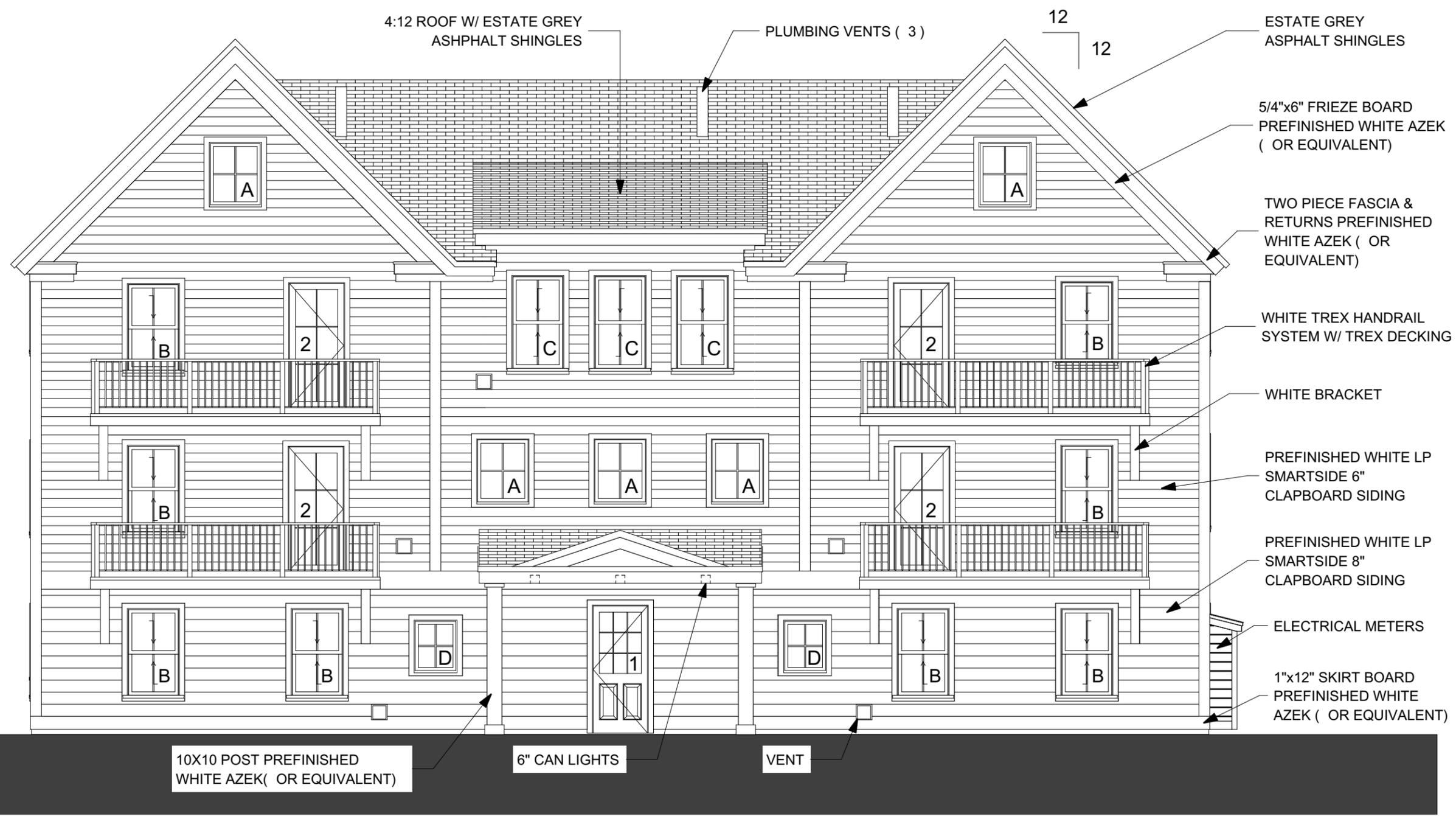
Revision Log

NO.	DESCRIPTION

Sheet Number



Ownership and use of documents:
 Drawings and specifications are instruments of professional service and shall remain the property of the designer.
 These documents are not to be used in whole or part, for any other projects or purposes, or by any other parties, than those properly authorized by contract without specific written authorization of Brian Hamor.





Hamor Architecture
 458 Mountain Road
 Stowe Vermont 05672
 802/497/4224
 HamorArchitecture.com



ESTATE GREY
 ASPHALT SHINGLES

TWO PIECE FASCIA
 PREFINISHED WHITE AZEK
 (OR EQUIVALENT)

TREX HANDRAIL SYSTEM - WHITE
 POST, RAILS AND BALASTERS
 NATURAL COLOR RAILING

BRACKETS - PREFINISHED WHITE
 ASEK TRIM (OR EQUIVELENT)

TWO PIECE FASCIA
 PREFINISHED WHITE AZEK
 (OR EQUIVALENT)

10X10 POST WRAPPED IN
 PREFINISHED WHITE AZEK
 (OR EQUIVALENT)

PREFINISHED WHITE LP
 SMARTSIDE 6" CLAPBOARD SIDING

VENT TYP.

3:12 ROOF

TWO PIECE FASCIA
 PREFINISHED WHITE AZEK
 (OR EQUIVALENT)

10X10 POST PREFINISHED
 WHITE AZEK(OR EQUIVALENT)

Project / Client

605 Maple LLC
 Stowe, VT

Title

**EXTERIOR
 ELEVATIONS**

Date 12/27/2019

Revision Log

NO.	DESCRIPTION

Sheet Number





Hamor Architecture
 458 Mountain Road
 Stowe Vermont 05672
 802/497/4224
 HamorArchitecture.com



7

SOUTH ELEVATION

1/8" = 1'-0"

Project / Client

605 Maple LLC
 Stowe, VT

Title

EXTERIOR ELEVATIONS

Date 12/27/2019

Revision Log

NO.	DESCRIPTION

Sheet Number

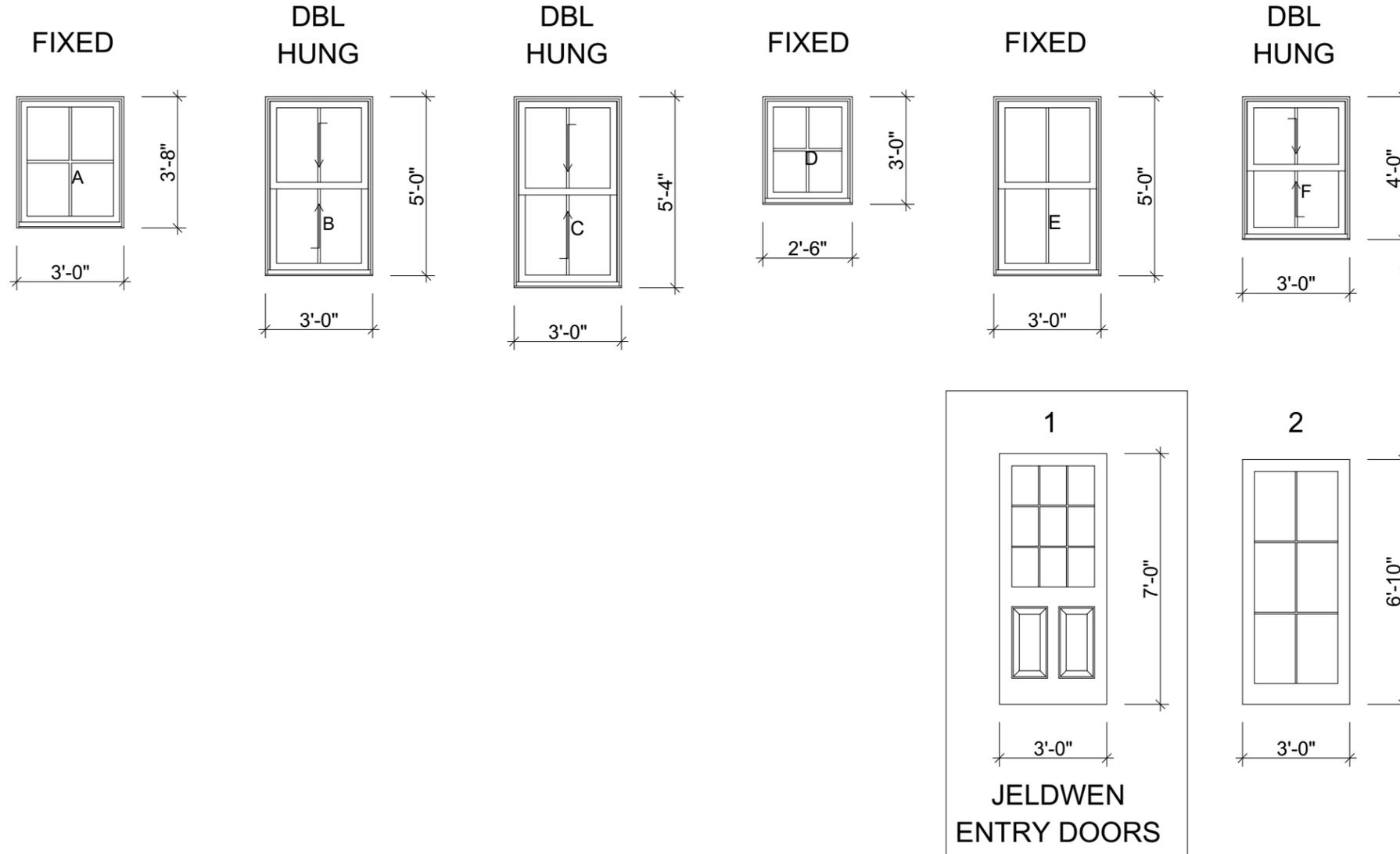


Ownership and use of documents:
 Drawings and specifications are instruments of professional service and shall remain the property of the designer.
 These documents are not to be used in whole or part, for any other projects or purposes, or by any other parties, than those properly authorized by contract without specific written authorization of Brian Hamor.



Hamor Architecture
 458 Mountain Road
 Stowe Vermont 05672
 802/497/4224
 HamorArchitecture.com

MARVIN INFINITY SERIES WINDOWS AND PATIO DOORS - WHITE



EXTERIOR DOOR AND WINDOWS SCHEDULE

Project / Client

605 Maple LLC
 Stowe, VT

Title

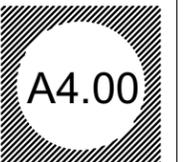
**WIN/DR.
 SCHEDULE**

Date 12/27/2019

Revision Log

Rev	Description

Sheet Number



Ownership and use of documents:
 Drawings and specifications are instruments of professional service and shall remain the property of the designer.
 These documents are not to be used in whole or part, for any other projects or purposes, or by any other parties, than those properly authorized by contract without specific written authorization of Brian Hamor.



Hamor Architecture
 458 Mountain Road
 Stowe Vermont 05672
 802/497/4224
 HamorArchitecture.com

Project / Client

605 Maple LLC
 Stowe, VT

Title

DETAILS

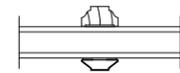
Date 12/27/2019

Revision Log

Sheet Number

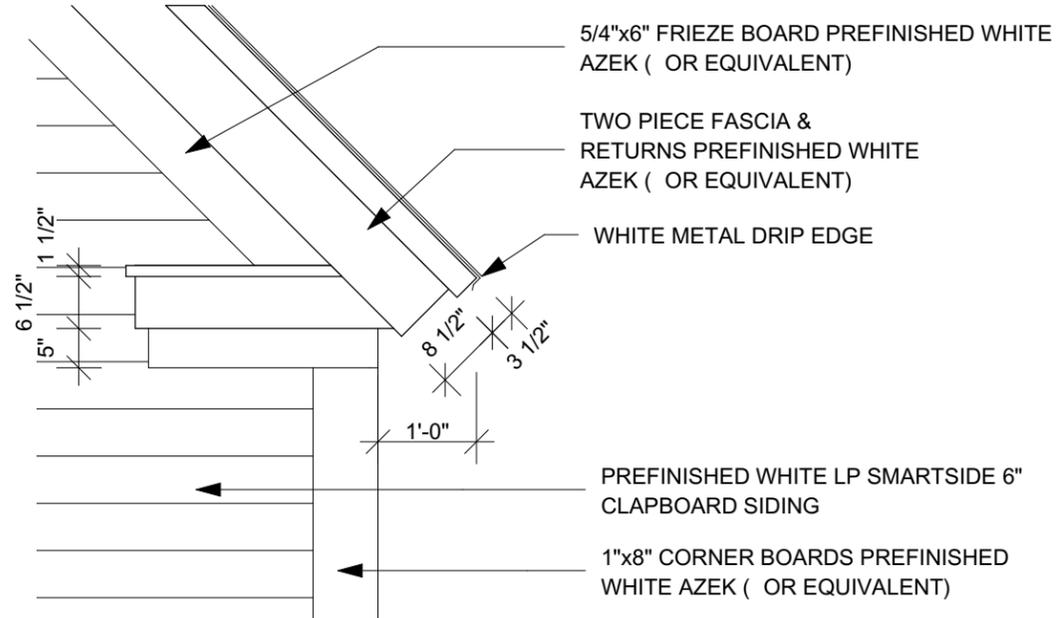


Ownership and use of documents:
 Drawings and specifications are instruments of professional service and shall remain the property of the designer.
 These documents are not to be used in whole or part, for any other projects or purposes, or by any other parties, than those properly authorized by contract without specific written authorization of Brian Hamor.

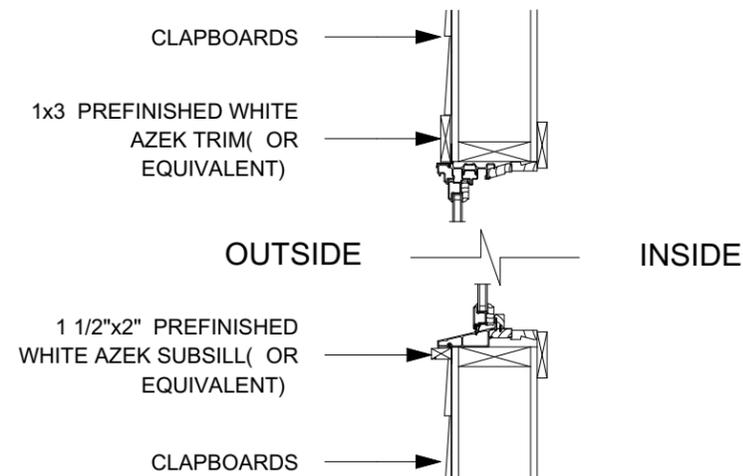


7/8"(22) SDL

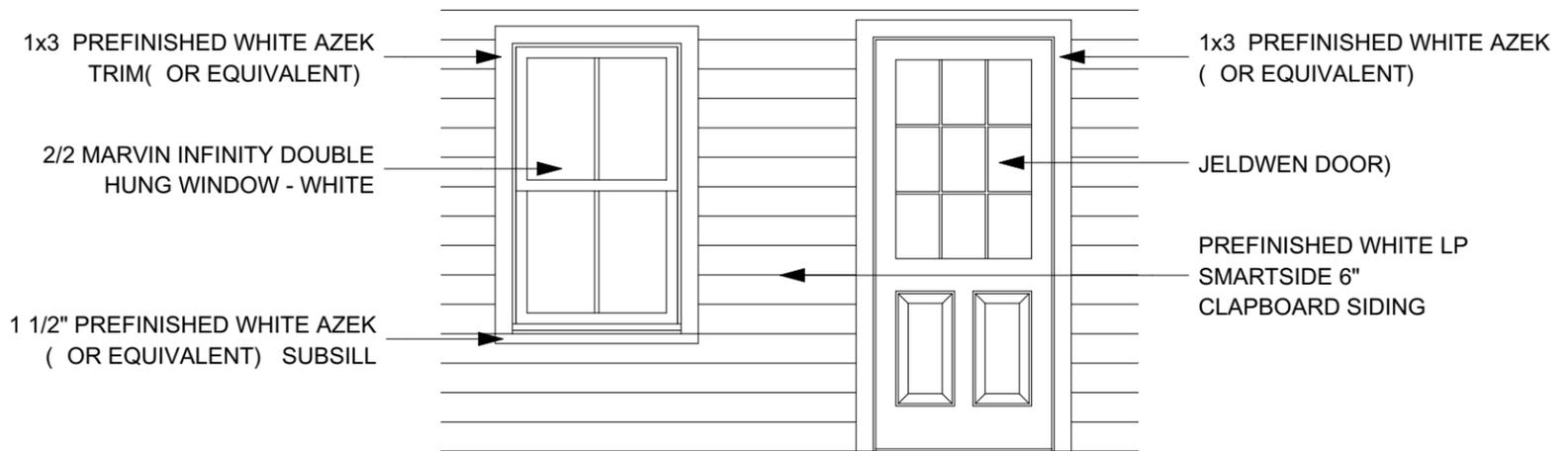
WINDOWS DIVIDED LIGHT



EAVE AND CORNER BOARD DETAIL



WINDOW DETAIL



WINDOW AND DOOR DETAIL

Smooth-Pro™ Fiberglass Exterior Door: 1/2 View 9-Light 2-Panel



Model Overview

PROJECT TYPE
New construction and replacement

MAINTENANCE LEVEL
Minimal

WARRANTY
Lifetime Warranty

COLORS & FINISHES
1 Finish Options

GLASS
Energy efficient, tinted and privacy.

DIVIDED LITES
Grilles between the glass.

CONSTRUCTION
ADA Requirements
Impact Resistant Doors
Smooth-Pro Construction

PANEL OPTIONS
Panel options



5/8" Internal Muntin Grill

JELDWEN ENTRY DOORS - WHITE



Lithonia Lighting E Series Recessed 5"/6" LED IC Rated Baffle Trim

Model: **65BEMW LED 35K 90CRI M6**

from the [E Series Collection](#)

★★★★☆ 1 Review | [Write a Review](#)

\$11.43

Finish: Matte White / 3500K



EXTERIOR CAN LIGHT BAFFLE

HAMOR

Hamor Architecture
458 Mountain Road
Stowe Vermont 05672
802/497/4224
HamorArchitecture.com

Project / Client

605 Maple LLC
Stowe, VT

Title

CUT SHEETS

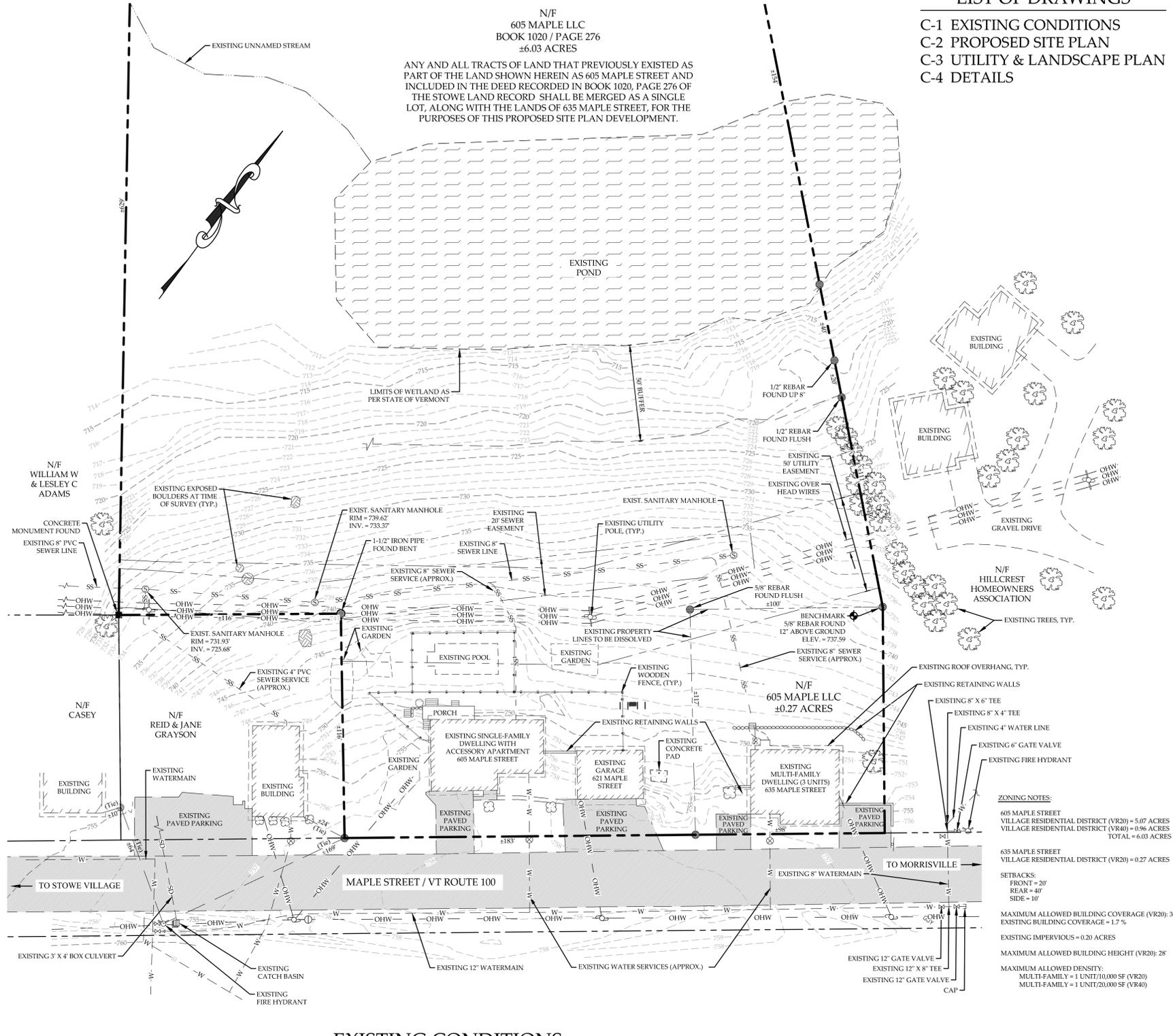
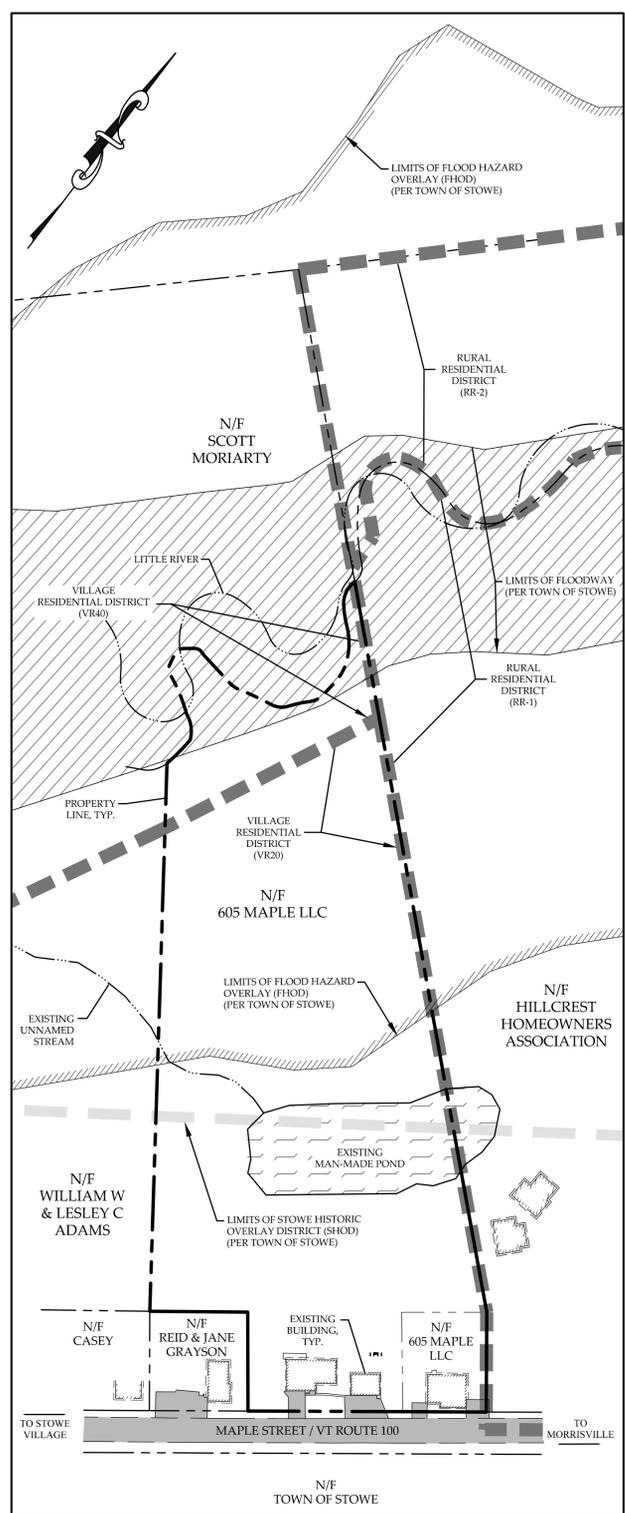
Date 12/27/2019

Revision Log

Sheet Number

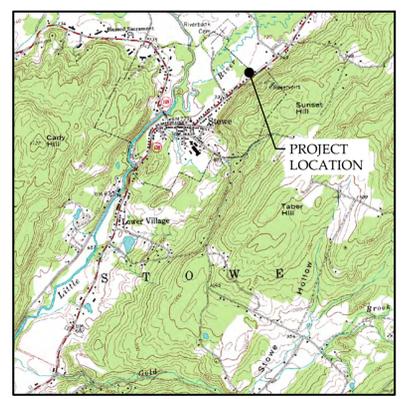
A6.00

Ownership and use of documents:
Drawings and specifications are instruments of professional service and shall remain the property of the designer.
These documents are not to be used in whole or part, for any other projects or purposes, or by any other parties, than those properly authorized by contract without specific written authorization of Brian Hamor.



LIST OF DRAWINGS

- C-1 EXISTING CONDITIONS
- C-2 PROPOSED SITE PLAN
- C-3 UTILITY & LANDSCAPE PLAN
- C-4 DETAILS



LEGEND

N/F	NOW OR FORMERLY OWNED BY
■	EXISTING CONCRETE MONUMENT
○	IRON PIPE / REBAR FOUND
○	EXISTING SIGN
○	PROPOSED UTILITY POLE
○	EXISTING UTILITY POLE & GUY WIRE
○	EXISTING HYDRANT
○	PROPOSED HYDRANT
○	EXISTING SEWER MANHOLE
○	PROPOSED SEWER MANHOLE
○	BENCHMARK
○	PROPOSED WALL MOUNTED LIGHT
○	EXISTING TREES
○	EXISTING SHRUBS
---	EXISTING PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	EXISTING PROPERTY LINE - TO BE DISSOLVED
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	EXISTING WOODEN FENCE
---	EXISTING GRAVITY SEWER LINE
---	PROPOSED GRAVITY SEWER LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING TREE LINE
---	EXISTING OVERHEAD WIRES
---	OHW
---	EXISTING CONCRETE
---	FINISH GRADE CONTOUR
---	EXISTING RIVER OR STREAM
---	EXISTING PAVEMENT
---	PROPOSED PAVEMENT
---	EXISTING POND
---	EXISTING BUILDING
---	ZONING LIMITS
---	PROPOSED GUARDRAIL
---	PROPOSED UNDERGROUND POWER / TELECOMMUNICATIONS
---	SD
---	PROPOSED STORMWATER DRAIN
---	PROPOSED FOUNDATION DRAIN
---	RD
---	PROPOSED ROOF DRAIN

NOTES:

- THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #1. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY LITTLE RIVER SURVEY CO. LLC WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT. THIS OFFICE ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE TOPOGRAPHIC SURVEY.

OWNER OF RECORD:
605 MAPLE LLC
P.O. BOX 728
STOWE, VT 05672

- PLAN REFERENCES:**
- TOPOGRAPHIC INFORMATION & LOCATION OF UTILITIES PROVIDED BY LITTLE RIVER SURVEY Co. LLC ON 11/28/2018.
 - PROPERTY INFORMATION TAKEN FROM PLAT OF "605 MAPLE STREET, STOWE, VERMONT" DATED JULY 19, 2018 BY ALLEN J. NEWTON OF MORRISVILLE VERMONT.
 - EXISTING WATERLINE INFORMATION & LOCATION TAKEN FROM "RECORD DRAWING PLAN OF ROUTE 100 HILLCREST WATERLINE EXTENSION STOWE, VERMONT" BY LEACH ENGINEERING CONSULTANTS, P.A. IN LYNDENVILLE VERMONT, ON 2/24/00, PROVIDE BY TOWN OF STOWE.
 - TOPOGRAPHIC, PARCEL, AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 1/30/19.

PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 1/10/20

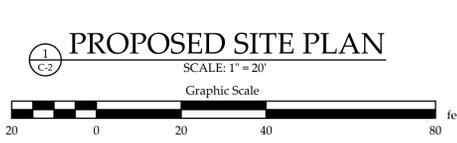
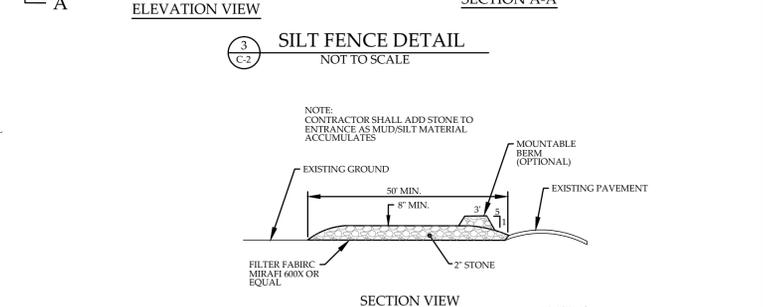
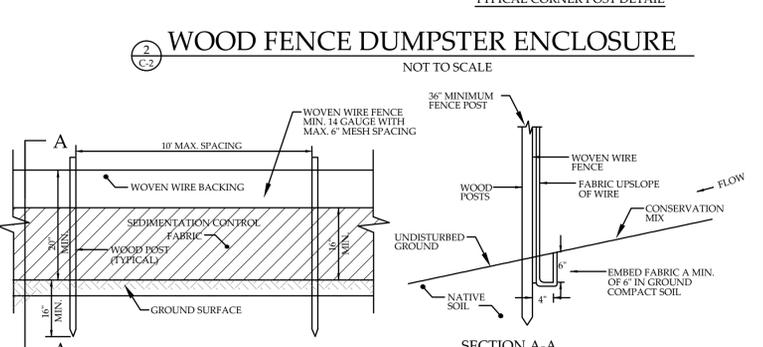
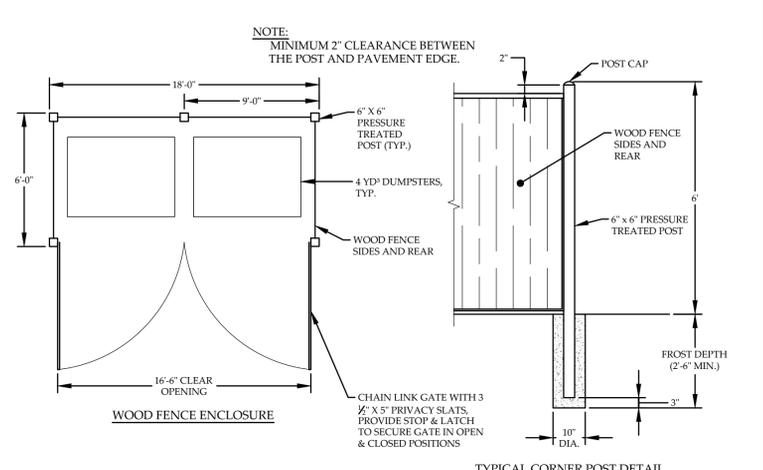
REVISION: 1/10/20 - ADDED WETLAND NOTE, SEWER EASEMENT NOTE, UTILITY EASEMENT NOTE

EXISTING CONDITIONS
605 MAPLE LLC
621 MAPLE STREET
STOWE, VERMONT

MUMLEY ENGINEERING, INC.
454 MOUNTAIN ROAD, SUITE 4
STOWE, VERMONT 05672
WWW.MUMLEYENGINEERING.COM
COPYRIGHT © 2020 - MUMLEY ENGINEERING, INC.

PROJECT NO.18041.1
DRAWN BY.....WEH
CHECKED BY.....TRM
SCALE.....1" = 30'
DATE.....12/11/19

SHEET NO.
C-1
1 OF 4 SHEETS



NOTES:

- THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #1. THE PROPERTY LINES, EASEMENTS, AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DGS SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DGS SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.

PURPOSE OF PLAN:
TO DEVELOP A MULTI-FAMILY RESIDENTIAL DWELLING CONSISTING OF 9 UNITS ON AN EXISTING LOT AT 605 MAPLE STREET (6.03 -ACRES) AND AN EXISTING LOT AT 635 MAPLE STREET (0.27 ACRES).

ZONING NOTES:

605 MAPLE STREET
VILLAGE RESIDENTIAL DISTRICT (VR20) = 5.07 ACRES
VILLAGE RESIDENTIAL DISTRICT (VR40) = 0.96 ACRES
TOTAL = 6.03 ACRES

635 MAPLE STREET
VILLAGE RESIDENTIAL DISTRICT (VR20) = 0.27 ACRES

SETBACKS:
FRONT = 20'
REAR = 40'
SIDE = 10'

MAXIMUM ALLOWED BUILDING COVERAGE (VR20): 30%
EXISTING BUILDING COVERAGE = 1.7%
PROPOSED TOTAL BUILDING COVERAGE (605 & 635 MAPLE ST.) = 2.3%

EXISTING IMPERVIOUS AREA = 0.20 ACRES
PROPOSED TOTAL IMPERVIOUS AREA = 0.41 ACRES

MAXIMUM ALLOWED BUILDING HEIGHT (VR20): 28'
SEE ARCHITECTURAL PLANS FOR BUILDING HEIGHTS

MAXIMUM ALLOWED DENSITY:
MULTI-FAMILY = 1 UNIT/10,000 SF (VR20) = 5.34 ACRES/10,000 SF = 23.26 UNITS
MULTI-FAMILY = 1 UNIT/20,000 SF (VR40) = 0.96 ACRES/20,000 SF = 2.89 UNITS
TOTAL = 25 UNITS

PROPOSED = 9 NEW UNITS PLUS 5 EXISTING UNITS = 14 UNITS TOTAL

TRAFFIC ANALYSIS
ITE 9TH EDITION FOR APARTMENTS (USE #220):

BASED ON 9 UNITS:
WEEKDAY: 9 UNITS * 6.65 TRIPS/UNIT = 60 TRIPS
WEEKDAY, PEAK HOUR (PM): 9 UNITS * 0.62 TRIPS/UNIT = 5.6 TRIPS
WEEKEND, PEAK HOUR (SATURDAY): 9 UNITS * 0.52 TRIPS/UNIT = 4.7 TRIPS

BASED ON 2 VEHICLES PER UNIT, 9 UNITS:
WEEKDAY: 9 UNITS * 2 VEH/UNIT * 5.10 TRIPS/PERSON = 92 TRIPS
WEEKDAY, PEAK HOUR (PM): 9 UNITS * 2 VEH/UNIT * 0.60 TRIPS/PERSON = 10.8 TRIPS
WEEKEND, PEAK HOUR (SATURDAY PM): 9 UNITS * 2 VEH/UNIT * 0.45 TRIPS/PERSON = 8.1 TRIPS

PARKING:
REQUIRED FOR MULTI-FAMILY (6400 SF) = 2 SPACES / UNIT
PARKING AT 635 (3 UNITS) = 5 SPACES (EXISTING - NO CHANGES)
PARKING AT 605 (2 UNITS) = 4 SPACES (RECONFIGURED)
NOTE: 1 SPACE IN NEW PARKING AREA
PROPOSED PARKING AT 621 (9 UNITS) = 18 SPACES

OWNER OF RECORD:
605 MAPLE LLC
P.O. BOX 728
STOWE, VT 05672

REVISION: 1/10/20 - REVISED PARKING, ADDED EROSION CONTROL MEASURES AND NEW DETAILS

PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 1/10/20

PROPOSED SITE PLAN
605 MAPLE LLC
621 MAPLE STREET
STOWE, VERMONT

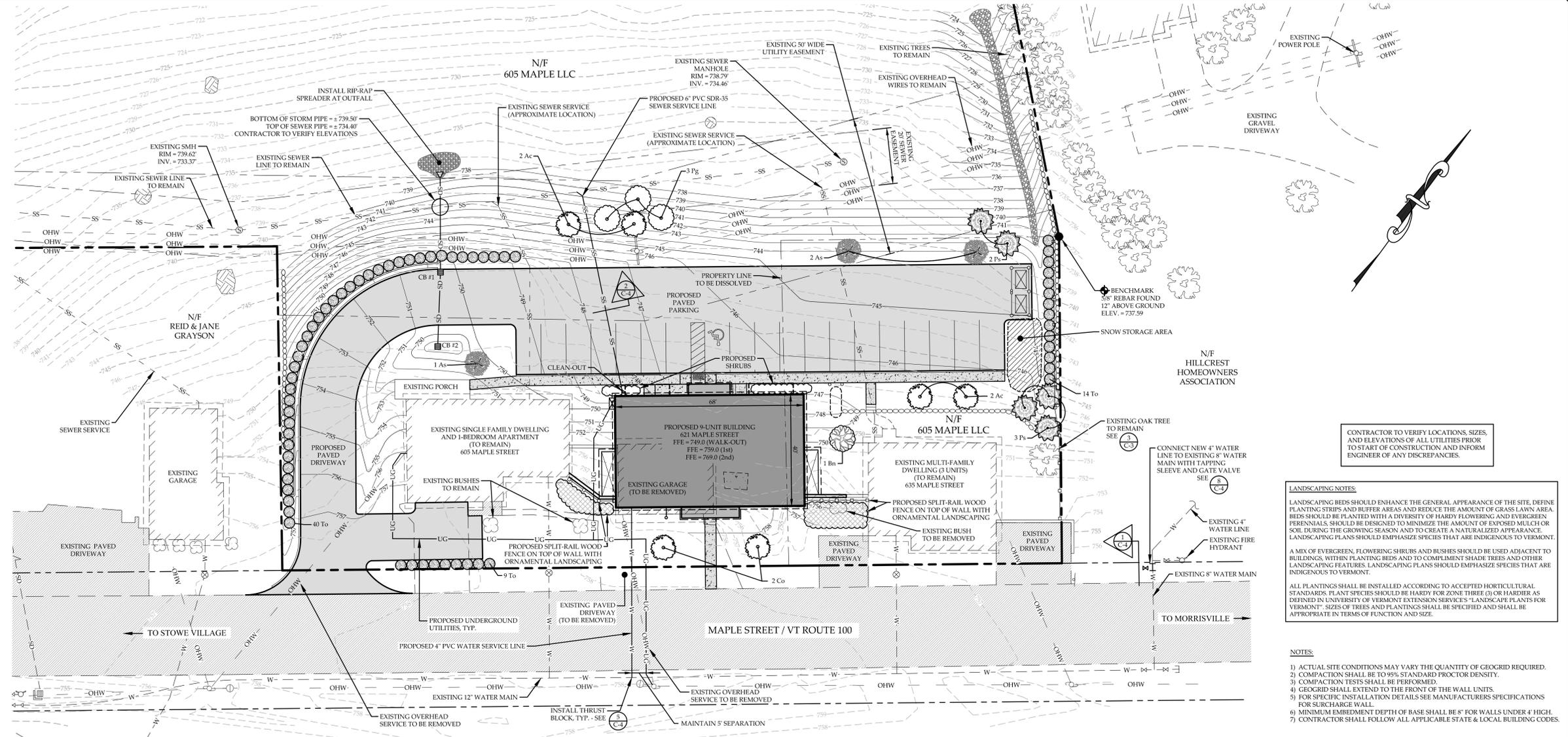
MUMLEY ENGINEERING, INC.
454 MOUNTAIN ROAD, SUITE 4
STOWE, VERMONT 05672
WWW.MUMLEYENGINEERING.COM
COPYRIGHT © 2020 - MUMLEY ENGINEERING, INC.

PROJECT NO.18041.1
DRAWN BY.....TRM
CHECKED BY.....TRM
SCALE.....1" = 20'
DATE.....12/11/19

SHEET NO.
C-2
2 OF 4 SHEETS

TOWN OF STOWE PUBLIC WORKS WATER & SEWER CONNECTION PERMIT GENERAL CONDITIONS:

- ALL CONNECTIONS TO THE TOWN WATER SYSTEM AND WATER SYSTEM CONSTRUCTION SHALL COMPLY WITH THE VT WATER SUPPLY RULES, THE TOWN OF STOWE WATER DEPARTMENT RULES AND REGULATIONS AND THE REQUIREMENTS OF STOWE PUBLIC WORKS (SPW).
- ALL CONNECTIONS TO THE TOWN SEWER SYSTEM AND SEWER SYSTEM CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF THE VT WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES, THE TOWN OF STOWE SEWER ORDINANCE AND THE REQUIREMENTS OF SPW.
- WATER/SEWER CONNECTION PERMITS SHALL NOT BE ISSUED UNTIL THE REQUIRED WATER/SEWER ALL LOCATIONS HAVE BEEN APPROVED BY THE SELECTBOARD, VT WASTEWATER SYSTEM AND WATER SUPPLY PERMITS HAVE BEEN SECURED AND ALL WATER/SEWER ALLOCATION FEES HAVE BEEN PAID IN FULL.
- IF THE PROPOSED WATER/SEWER CONNECTION REQUIRES ENCROACHMENT AND/OR CONSTRUCTION WITHIN A TOWN HIGHWAY RIGHT OF WAY, A RIGHT OF WAY ENCROACHMENT/ROAD OPENING PERMIT ISSUED BY SPW IS REQUIRED. IF THE PROPOSED WATER/SEWER CONNECTION AND/OR CONSTRUCTION REQUIRES ENCROACHMENT WITHIN A STATE HIGHWAY RIGHT OF WAY, A VT AGENCY OF TRANSPORTATION (111) PERMIT IS REQUIRED.
- EXCEPT IN THE CASE OF AN EMERGENCY AND/OR WITH SPECIFIC PERMISSION FROM SPW, ALL CONNECTIONS TO THE TOWN WATER AND/OR SEWER SYSTEM SHALL BE PERFORMED DURING NORMAL DAYLIGHT HOURS, MONDAY-FRIDAY, APRIL 15-NOVEMBER 15, EXCEPT LEGAL HOLIDAYS.
- THE CONTRACTOR SHALL HAVE A SUPERINTENDENT COMPETENT IN WATER AND SEWER CONSTRUCTION AND ACCEPTABLE TO SPW PRESENT ON THE PROJECT SITE AT ALL TIMES DURING WATER AND/OR SEWER CONSTRUCTION UNDER THIS PERMIT.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH CURRENT OSHA AND VOSHIA HEALTH AND SAFETY STANDARDS FOR CONSTRUCTION. JOBSITE SAFETY IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. REVIEW OF THE WORK AND/OR LACK OF COMMENT BY THE TOWN SHALL NOT BE INTERPRETED AS APPROVAL OF THE PROVISIONS FOR JOBSITE SAFETY AND/OR COMPLIANCE WITH THE APPLICABLE OSHA AND VOSHIA REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PERSONS OR PROPERTY RESULTING FROM ANY WORK DONE UNDER THIS PERMIT AND INDEMNIFY AND HOLD THE TOWN HARMLESS FROM ANY CLAIMS FOR DAMAGES ASSOCIATED WITH THE WORK.
- ALL WATER AND/OR SEWER CONNECTIONS SHALL BE INSPECTED AND APPROVED BY THE SPW. ALL PRIVATE WATER AND/OR SEWER SYSTEM CONSTRUCTION SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE TOWN. PROVIDE 48 HOURS MINIMUM NOTICE PRIOR TO THE START OF CONSTRUCTION.
- ALL WATER SERVICES AND/OR DISTRIBUTION SYSTEMS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE VT WATER SUPPLY RULES AND THE TOWN WATER SYSTEM RULES AND REGULATIONS. ALL SEWER LATERALS AND/OR COLLECTION SYSTEMS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE APPLICABLE VT WASTEWATER RULES AND THE TOWN SEWER ORDINANCE. ALL TESTING OF WATER AND/OR SEWER SYSTEM COMPONENTS SHALL BE OBSERVED AND APPROVED BY THE SPW.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS ACCURATELY DEPICTING THE HORIZONTAL AND VERTICAL LOCATION ALL WATER AND/OR SEWER SYSTEM COMPONENTS INSTALLED UNDER THIS PERMIT.
- ANY COST INCURRED BY THE TOWN ASSOCIATED WITH THE WORK UNDER THIS PERMIT SHALL BE INVOICED AS A CONNECTION FEE IN ACCORDANCE WITH THE CURRENTLY ADOPTED TOWN WATER AND SEWER RATE SCHEDULE.
- PRIOR TO THE SUPPLY OF METERS AND ACTIVATION OF SERVICE(S), ALL THE REQUIREMENTS OF THE ASSOCIATED SPW PERMIT SHALL BE COMPLETE AND ACCEPTED BY THE TOWN AND ACCOUNTS FOR SERVICE SHALL BE ESTABLISHED WITH STOWE ELECTRIC DEPARTMENT.



CONTRACTOR TO VERIFY LOCATIONS, SIZES, AND ELEVATIONS OF ALL UTILITIES PRIOR TO START OF CONSTRUCTION AND INFORM ENGINEER OF ANY DISCREPANCIES.

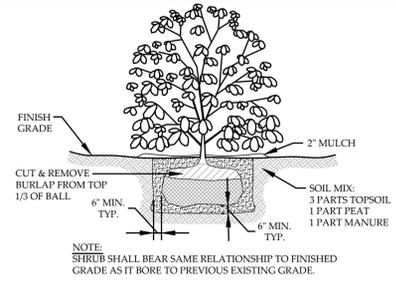
LANDSCAPING NOTES:
 LANDSCAPING BEDS SHOULD ENHANCE THE GENERAL APPEARANCE OF THE SITE, DEFINE PLANTING STRIPS AND BUFFER AREAS AND REDUCE THE AMOUNT OF GRASS LAWN AREA. BEDS SHOULD BE PLANTED WITH A DIVERSITY OF HARDY FLOWERING AND EVERGREEN PERENNIALS SHOULD BE DESIGNED TO MINIMIZE THE AMOUNT OF EXPOSED MULCH OR SOIL DURING THE GROWING SEASON AND TO CREATE A NATURALIZED APPEARANCE. LANDSCAPING PLANS SHOULD EMPHASIZE SPECIES THAT ARE INDIGENOUS TO VERMONT.
 A MIX OF EVERGREEN, FLOWERING SHRUBS AND BUSHES SHOULD BE USED ADJACENT TO BUILDINGS, WITHIN PLANTING BEDS AND TO COMPLEMENT SHADE TREES AND OTHER LANDSCAPING FEATURES. LANDSCAPING PLANS SHOULD EMPHASIZE SPECIES THAT ARE INDIGENOUS TO VERMONT.
 ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO ACCEPTED HORTICULTURAL STANDARDS. PLANT SPECIES SHOULD BE HARDY FOR ZONE THREE (3) OR HARDIER AS DEFINED IN UNIVERSITY OF VERMONT EXTENSION SERVICES' LANDSCAPE PLANTS FOR VERMONT'. SIZES OF TREES AND PLANTINGS SHALL BE SPECIFIED AND SHALL BE APPROPRIATE IN TERMS OF FUNCTION AND SIZE.

- NOTES:**
- ACTUAL SITE CONDITIONS MAY VARY THE QUANTITY OF GEOGRID REQUIRED.
 - COMPACTION SHALL BE TO 95% STANDARD PROCTOR DENSITY.
 - COMPACTION TESTS SHALL BE PERFORMED.
 - GEOGRID SHALL EXTEND TO THE FRONT OF THE WALL UNITS.
 - FOR SPECIFIC INSTALLATION DETAILS SEE MANUFACTURERS SPECIFICATIONS FOR SURCHARGE WALL.
 - MINIMUM EMBEDMENT DEPTH OF BASE SHALL BE 8" FOR WALLS UNDER 4' HIGH.
 - CONTRACTOR SHALL FOLLOW ALL APPLICABLE STATE & LOCAL BUILDING CODES.

PRELIMINARY
 NOT FOR CONSTRUCTION
 DATE: 1/10/19

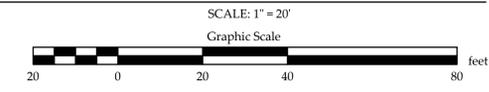
Proposed Plant List

Key	Quantity	Symbol	Scientific Name	Common Name	Size
4 C3	3	As	Acer Saccharum	Sugar Maple	2.5" - 3" cal.
	2	Ac	Amerlandier Camadensis	Serviceberry	2.5" - 3" cal.
	2	Co	Celtis Occidentalis	Hackberry	2.5" - 3" cal.
	2	Bn	Betula Nigra 'Heritage'	Heritage River Birch	2.5" - 3" cal.
	3	Pg	Picea glauca	White Spruce	2.5" - 3" cal.
	5	Ps	Pinus strobus	Eastern White Pine	2.5" - 3" cal.
3 C4	63	To	Thuja occidentalis 'Emerald'	Emerald Arborvitae	5 - 6' @ 2 - 3" O/C



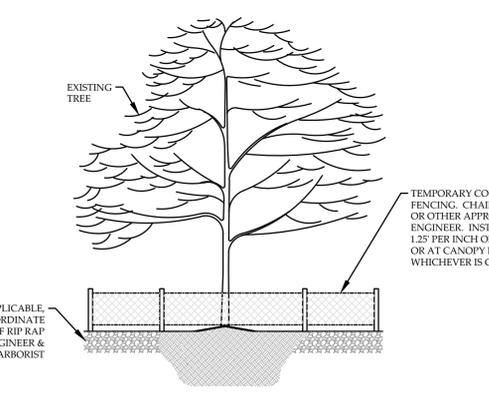
SHRUB PLANTING DETAIL
 NOT TO SCALE

UTILITY & LANDSCAPING PLAN

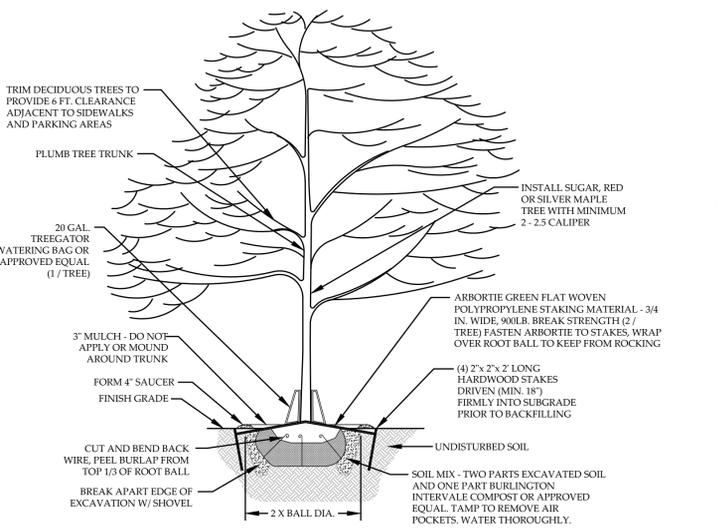


DRAINAGE SUMMARY

FROM STRUCTURE	RIM	INV. OUT	TO STRUCTURE	INV. IN	LENGTH	SIZE	SLOPE	DOM. GRATE
CB 1	750.5'	743.0'	OUTFALL	738.0'	35'	18"	0.143	YES
CB 2	748.5'	744.0'	CB 1	743.0'	27'	12"	0.037	YES

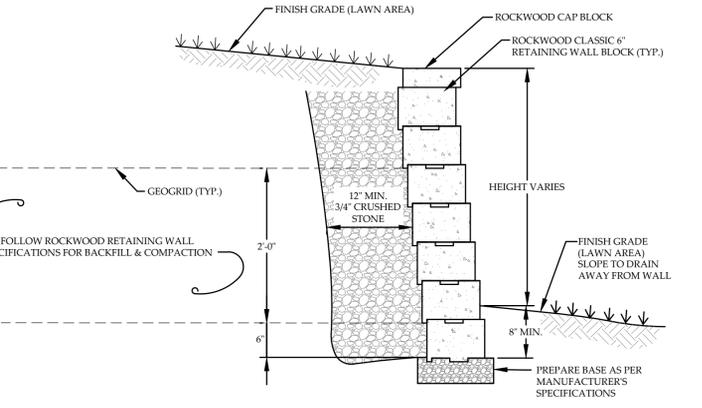


TYP. EXISTING TREE PROTECTION DETAIL
 NOT TO SCALE



- NOTES:**
- PLANT TREE SO THAT TOP OF ROOT FLARE IS EVEN WITH THE FINISH GRADE.
 - STAKING IS REQUIRED ONLY IN SITUATIONS WHERE TREES WILL BE SUBJECT TO WINDY CONDITIONS AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
 - TREES SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER PLANTING.
 - EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, ROPE, STRING AND SURVEYOR TAPE PRIOR TO PLANTING TO PREVENT GIRDLING.

TREE PLANTING DETAIL
 NOT TO SCALE



TYPICAL ROCKWOOD RETAINING WALL SECTION
 NOT TO SCALE

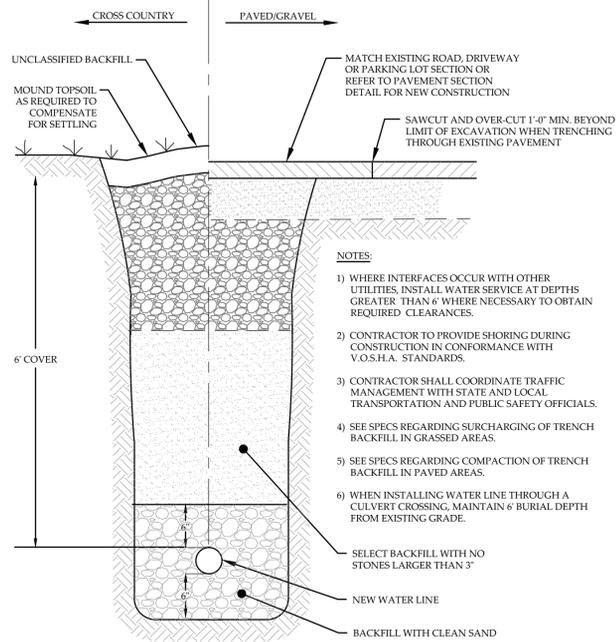
REVISION: 1/10/20 - REVISED AND ADDED NEW TREES TO PLAN & PLANTING LIST

UTILITY & LANDSCAPING PLAN
 605 MAPLE LLC
 621 MAPLE STREET
 STOWE, VERMONT

MUMLEY ENGINEERING, INC.
 454 MOUNTAIN ROAD, SUITE 4
 STOWE, VERMONT 05672
 WWW.MUMLEYENGINEERING.COM
 COPYRIGHT © 2020 - MUMLEY ENGINEERING, INC.

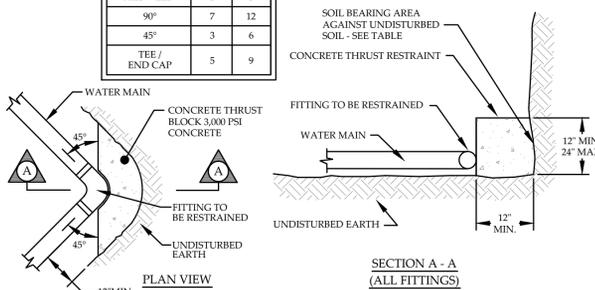
PROJECT NO.....18041.1
 DRAWN BY.....WEHM
 CHECKED BY.....TRM
 SCALE.....1" = 20'
 DATE.....12/11/19

SHEET NO.
C-3
 3 OF 4 SHEETS

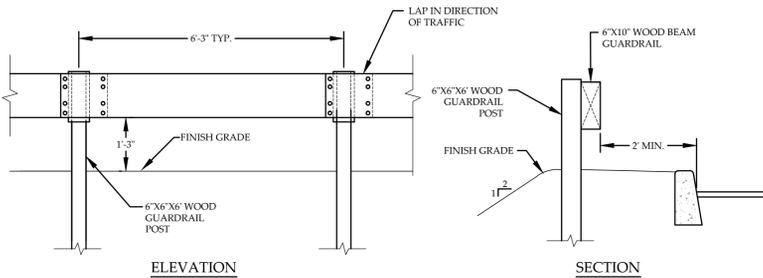


1 C-4
TYPICAL WATER LINE TRENCH
NOT TO SCALE

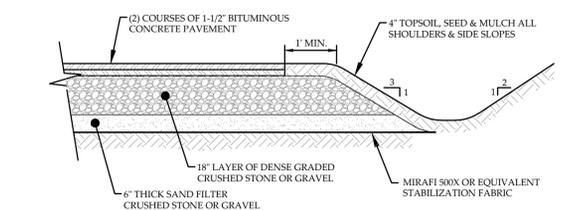
THRUST BLOCK SURFACE AREA SQ. FT. OF SOIL BEARING AREA		
FITTING	4" - 6"	8"
	11.25" - 22.5"	3
	90°	7
	45°	3
TEE / END CAP		9



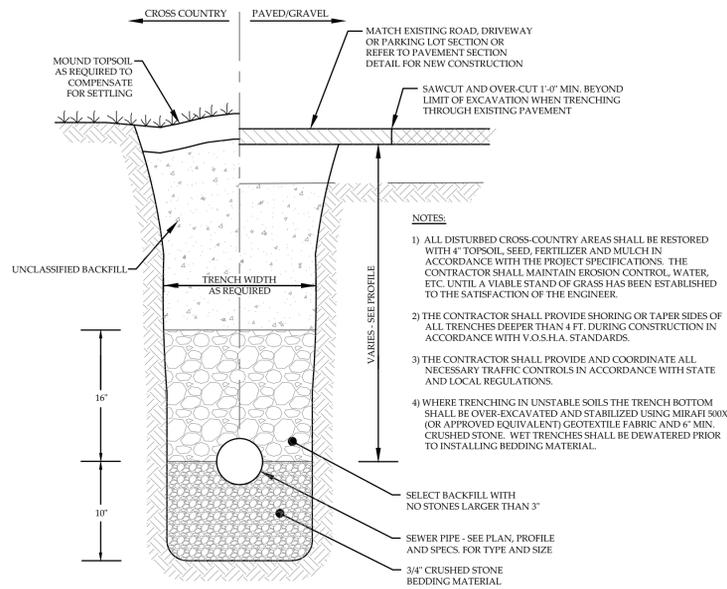
5 C-4
WATER MAIN THRUST RESTRAINTS
NOT TO SCALE



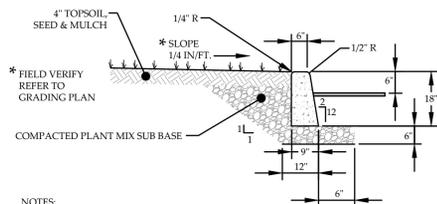
9 C-4
GUARDRAIL DETAILS
NOT TO SCALE



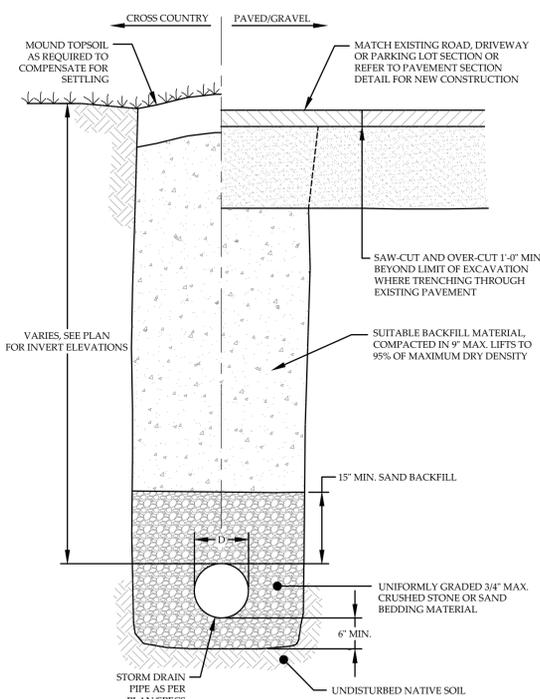
11 C-4
TYPICAL PAVED DRIVEWAY SECTION
NOT TO SCALE



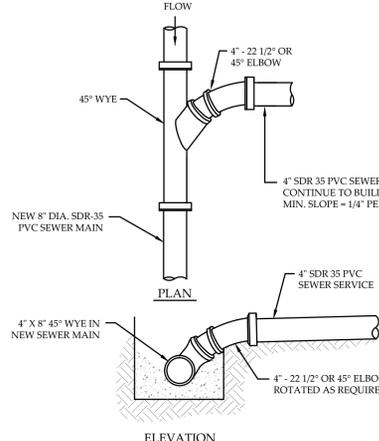
2 C-4
TYPICAL SANITARY SEWER TRENCH
NOT TO SCALE



6 C-4
CONCRETE CURB DETAIL
NOT TO SCALE

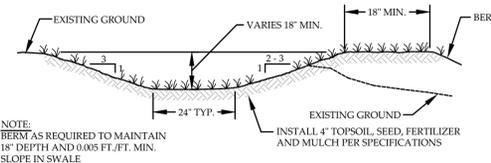
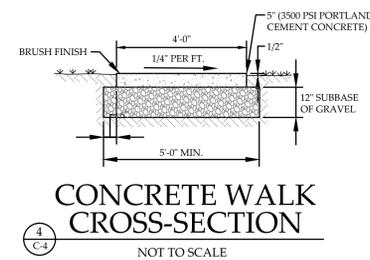


12 C-4
TYPICAL STORM DRAIN TRENCH
NOT TO SCALE

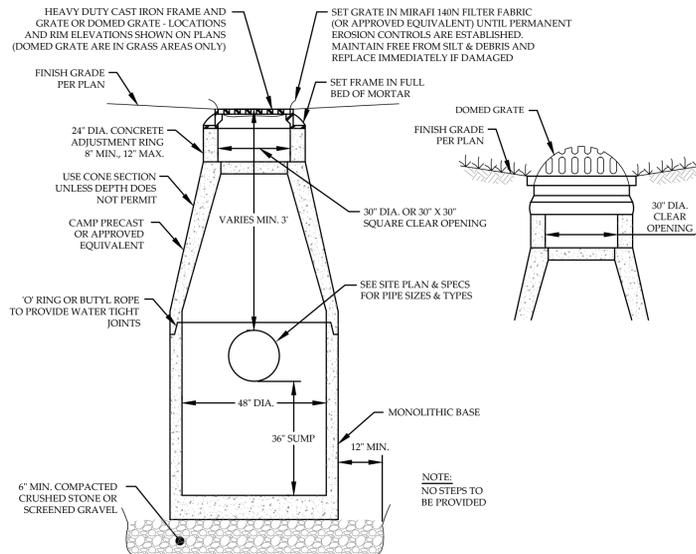


3 C-4
TYPICAL WYE-TYPE CONNECTION
NOT TO SCALE

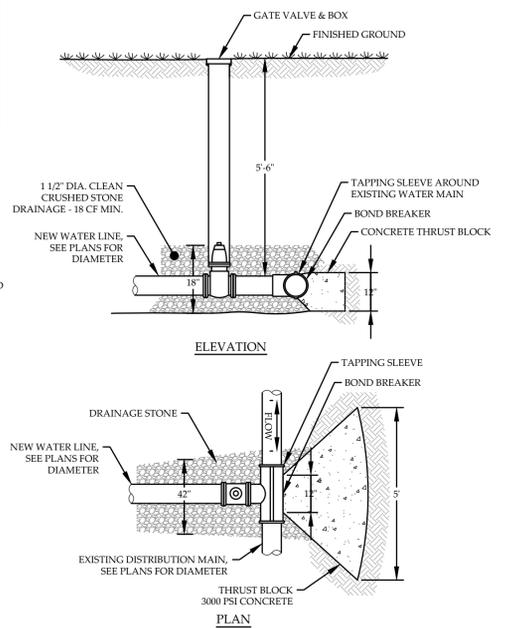
PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 1/10/20



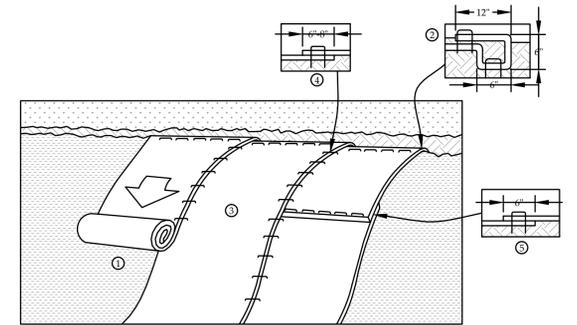
7 C-4
TYPICAL GRASS SWALE
NOT TO SCALE



10 C-4
TYPICAL CATCH BASIN
NOT TO SCALE



8 C-4
TYPICAL TAPPING SLEEVE & GATE VALVE CONNECTION
NOT TO SCALE



13 C-4
EROSION CONTROL BLANKET SLOPE INSTALLATION
NOT TO SCALE

REVISION: 1/10/20 - RENUMBERED DETAILS

DETAILS
605 MAPLE LLC
621 MAPLE STREET
STOWE, VERMONT

MUMLEY
ENGINEERING, INC.
454 MOUNTAIN ROAD, SUITE 4
STOWE, VERMONT 05672
WWW.MUMLEYENGINEERING.COM
COPYRIGHT © 2020 - MUMLEY ENGINEERING, INC.

PROJECT NO.18041.1
DRAWN BY.WEH
CHECKED BY.TRM
SCALE.1" = 20'
DATE.12/11/19

SHEET NO.
C-4
4 OF 4 SHEETS